

Application Number: F/YR14/0886/RM  
 Major  
 Parish/Ward: March North  
 Applicant: Grosvenor Partnership LLP  
 Agent: Mr A Wallis, Wallis Design Associates

Proposal: Erection of 6 x 3-storey, 3-bed dwellings with balcony to front and integral garage and 4 x 3-storey, 2-bed dwellings  
 Location: Land South West of Queen Street Close, March

Site Area: 0.1485 hectares

Reason before Committee: This application is before committee due to the Town Council's comments being at variance to the officer's recommendation.

**1.0 EXECUTIVE SUMMARY/RECOMMENDATION**

1.1 This application seeks reserved matters approval pursuant to outline planning permission granted on appeal in December 2011. The layout and access has already been determined, and therefore this application seeks the approval of scale, appearance and landscaping of the proposed development.

The site is located on land south-west of Queen Street Close, March within easy reach of existing services and facilities of March town centre.

The site is of sufficient size to facilitate an appropriate extension to Queen Street Close and the proposed development would be well integrated with the existing built development surrounding the site.

The proposal accords with the relevant development plan policies and to the aims and objectives of the National Planning Policy Framework, as such the application is recommended for approval.

**2.0 HISTORY**

Of relevance to this proposal is:

F/YR14/3124/COND	Detail reserved by Conditions 5, 6, 7, and 8 of Appeal Decision APP/D0515/A/11/2160783 relating to F/YR11/0388/O (Erection of 6 x 3-bed and 4 x 2-bed terraced houses)	Pending consideration
F/YR14/0537/F	Variation of Condition 7 of Appeal Decision APP/D0515/A/11/2160783 relating to F/YR11/0388/O (Erection of 6 x 3-bed and 4 x 2-bed terraced houses)	Withdrawn 18/11/2014
F/YR11/0716/EXTIME	Erection of 8 x 2-bed houses (renewal of planning permission F/YR08/0774/O)	Granted 21/10/2011

F/YR11/0388/O	Erection of 6 x 3-bed and 4 x 2-bed terraced houses	Appeal allowed on 14/12/2011
F/YR10/0215/O	Erection of 10 x 3-bed houses with associated parking	Refused on 7/6/2010. Dismissed on appeal 29/11/2010
F/YR09/0681/O	Erection of 12 x 3-bed houses with integral garages	Withdrawn 12/01/2010
F/YR08/0774/O	Erection of 8 x 2-bed houses	Granted 14/10/2008
F/YR07/0010/FDC	Residential Development (0.1485 ha) involving demolition of existing terrapin building	Granted 29/03/2007

### 3.0 PLANNING POLICIES

#### 3.1 National Planning Policy Framework:

Paragraph 11 – Applications must be determined in accordance with the development plan unless other material considerations indicate otherwise

Paragraph 14 – Presumption in favour of sustainable development.

Paragraph 17 – Seek to ensure high quality design and a good standard of amenity for all existing and future occupants.

Paragraph 53 – Local Planning Authorities should set out policies to resist inappropriate development of residential gardens, for example where development would cause harm to the local area.

Paragraph 64 – Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area.

Paragraphs 100 – 103 – Development and flood risk.

#### 3.2 Fenland Local Plan:

LP1 – A Presumption in Favour of Sustainable Development

LP2 – Facilitating Health and Wellbeing of Fenland Residents

LP3 – Spatial Strategy, the Settlement Hierarchy and the Countryside

LP5 – Meeting Housing Need

LP14 – Responding to Climate Change and Managing the risk of Flooding in Fenland

LP15 – Facilitating the creation of a More Sustainable Transport Network in Fenland

LP16 – Delivering and Protecting High Quality Environments across the District

LP18 – The Historic Environment

LP19 – The Natural Environment

### 4.0 CONSULTATIONS

#### 4.1 **March Town Council:** Recommend refusal – design (3-storey) out of character.

- 4.2 **Local Highway Authority (CCC):** Layout and access have already been determined at outline, therefore no highway objections to this reserved matters application.
- 4.3 **Middle Level Commissioners:** Will be commenting, however no further comments received.
- 4.4 **FDC Environmental Protection Team:** Note and accept information. The proposal is unlikely to have a detrimental effect on local air quality or the noise climate. Ground contamination has been dealt with under planning reference F/YR14/3124/COND for this site.
- 4.5 **Police Architectural Liaison Officer:** Comments in respect of the landscaping scheme and the position of the lighting columns. Suggest that two trees are removed to allow sufficient lighting to take place and also the removal of 5 further trees due to the lack of active surveillance from a number of the plots.
- 4.6 **Local Residents:**

**1 email of objection have been received which may be summarised as follows:**

- 3-storey development would set a precedent in this area of the town.
- Loss of privacy/overlooking from the second-floor rear windows of Plots 7-10 even with the landscaping proposed.
- There will be considerable congestion in Queen Street Close, especially during the construction phase of the building.
- Plots 1-6 will overlook the school.

## 5.0 **SITE DESCRIPTION**

- 5.1 The site (0.14 ha) is located at the end of Queen Street Close, to the north of the centre of March. The site is rectangular shaped and is currently redundant and overgrown, it was formerly occupied by local authority offices. The site is bounded on all sides by existing development, with residential development to the south and north-east, an ambulance station to the east, car-park to the north and to the west by All Saints primary school. The site lies within Flood Zone 1.

## 6.0 **PLANNING ASSESSMENT**

### 6.1 **Nature of Application**

This application seeks reserved matters approval pursuant of outline planning permission for 10 x 2 and 3-bed dwellings on land south west of Queen Street Close, March.

The outline application was allowed on appeal in December 2011 which approved the access and layout of the proposed development. This application was subject to a Unilateral Undertaking which secured the provision for early years, primary and secondary education.

The existing access of Queen Street Close, which is an adopted highway, would be used to accommodate this development. There is no turning head present at the eastern end of Queen Street Close; however this development provides a turning head with footways which was secured via a planning condition on the outline planning permission.

This application seeks approval of the appearance, landscaping and scale of the proposed development, as such the principle of development of this site has already been established and it is the details of landscaping, scale and appearance which this application is seeking approval of.

The main issues associated with this proposal are:

- **Character and appearance of the area**
- **Impact on residential amenity**
- **Landscaping**
- **Health and wellbeing**
- **Economic growth**

These are discussed in more detail below.

**Character and appearance of the area:** The proposal is for a terrace of 4 houses facing towards Queen Street Close and a terrace of 6 houses at right angles to it, separated from it by a court yard. This layout was approved as part of the outline planning permission.

The appearance and scale of the proposed development is a mix of two-storey with projecting gables which include some accommodation at second floor level. Plots 1 to 6 is a predominately two-storey block, whereas Plots 7 to 10 has a greater element of projecting gables with second floor accommodation.

The majority of housing in the area is two-storey, however there is a considerable variation of styles and the scale of the Local Authority offices to the south of the site mean that the slight additional height to accommodate the second floor is considered to be appropriate and would not be out of keeping with the area. This is the view that the Inspector in his appeal decision dated 14 December 2011 gave when granting the outline planning permission.

The external finishes to the proposed development would be a mix of red brick and rendered walls painted pale cream together with slate for the main roof and an orange plain clay tile covering the ground floor areas. The variation in materials used would provide the relief required to break up the mass of the buildings and also offer a more interesting and varied appearance in the area. These external finishes are consistent with the materials found on other buildings surrounding the site and are therefore considered appropriate.

**Impact on residential amenity:** It is accepted that there would be some overlooking of the adjoining primary school to the west. Plots 1 to 6 would be over 25 metres from the school building which is partly screened by the canopy in front of it. There is also a linear form of strategic tree planting positioned along the western boundary of the site, together with the proposed 2 metre high close boarded fencing; this would mitigate the degree of overlooking of the playground to an acceptable degree.

Plots 7 to 10 would overlook part of the existing car park and the existing flats at No.5 Queen Street Close. This block would be over 60 metres from the residential development along County Road. This amount of separation distance together with the proposed tree planting would provide no undue impact in terms of overlooking/loss of privacy of these residential properties.

Similarly the proposed development would not cause any adverse impacts in terms of overshadowing of surrounding dwellings, partly due to the orientation of the site but also due to the acceptable level of separation that has been provided.

Overall the proposal is considered to have an acceptable relationship to the adjoining built form and consequently accords with Policy LP16 of the Local Plan.

**Landscaping:** The landscaping scheme for the site involves the planting of trees and hedging to provide the appropriate levels of screening and softening of the impact of the proposed buildings and car parking court. The comments from the Police Architectural Liaison Officer (PALO) have been carefully considered. It is not considered appropriate to amend the majority of the proposed tree planting along the parking areas, as it is integral to the successful development of this site. The applicant's agent has amended the landscaping scheme to reflect concerns expressed and is now considered acceptable subject to no further concerns raised by the PALO.

**Health and wellbeing:** In accordance with Policy LP2 of the Local Plan development proposals should positively contribute to creating a healthy, safe and equitable living environment. In doing so development proposals, amongst other things, should create sufficient and the right mix of homes to meet people's needs, and in the right location. It is considered that this location represents a sustainable location where residents will be able to easily access local services and facilities without dependence on a private motor vehicle. The scheme also provides a mix of 2 and 3-bedroom properties.

**Economic growth:** The development would be likely to provide a degree of local employment during construction which would support the continued sustainability and economic growth of March.

## 7.0 CONCLUSION

7.1 The site forms a logical extension to the existing housing development of Queen Street Close. The application site presents an ideal opportunity to provide a mix of 2 and 3-bed housing in a sustainable location.

The proposal complies with the provisions of the development plan and to the guidance contained in the National Planning Policy Framework; accordingly it is recommended that permission be granted.

## 8.0 RECOMMENDATION

### APPROVE

#### 1. Plans

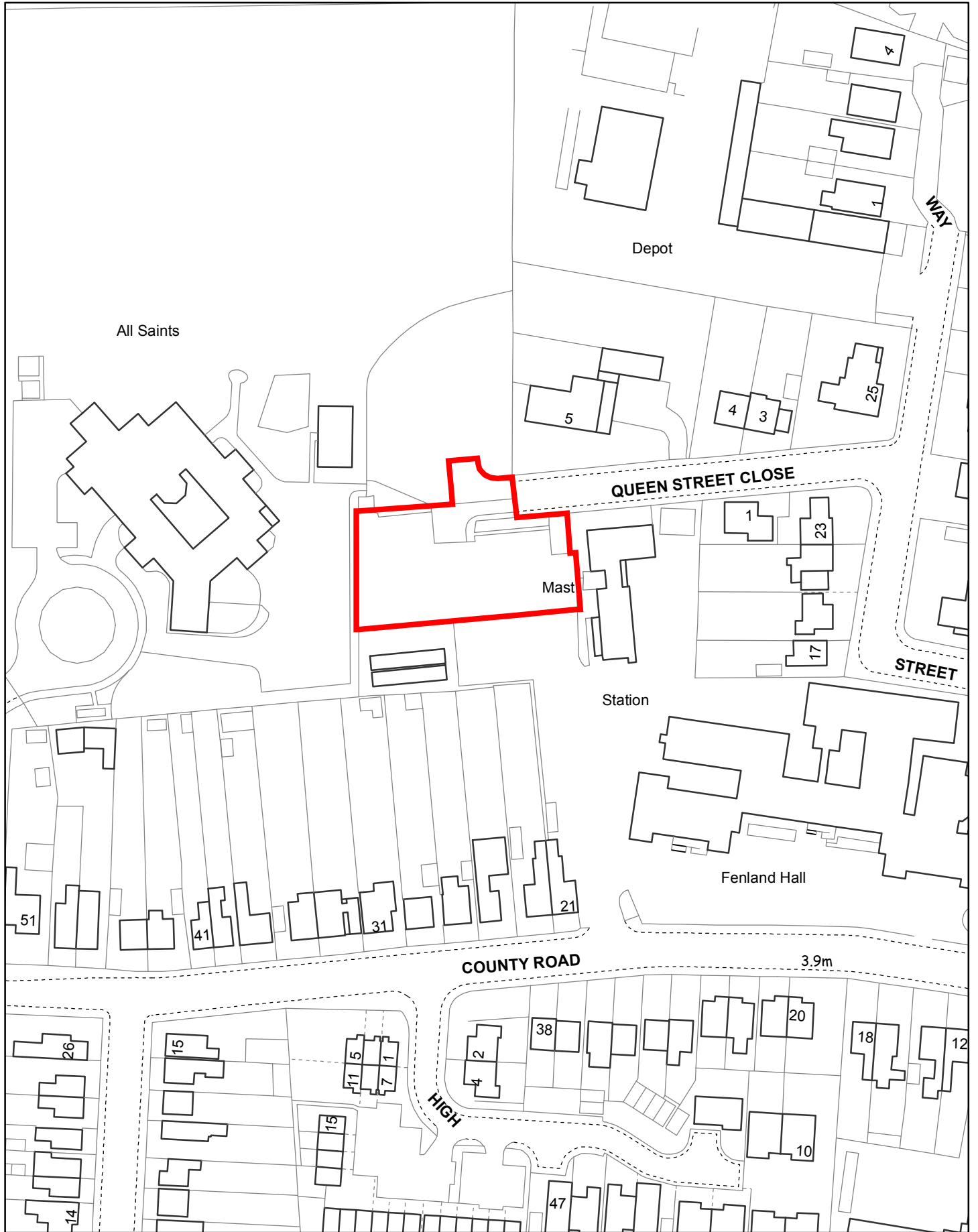
2. All hard and soft landscape works including any management and maintenance plan details, shall be carried out in accordance with the approved details. All planting seeding or turfing and soil preparation comprised in the above details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings, the completion of the development, or in agreed phases whichever is the sooner, and any plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation. All landscape works shall be carried out in accordance with the guidance contained in British Standards, unless otherwise agreed in writing by the Local Planning Authority.

Reason – To ensure proper implementation of the agreed landscape details in the interest of the amenity value of the development and in accordance with Policy LP16 of the Local Plan.

3. Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) Order 1995, (or any Order or Statutory Instrument revoking and re-enacting that Order with or without modification), planning permission shall be required for the following developments or alterations:

- i) the erection of freestanding curtilage buildings or structures including car ports, garages, sheds, greenhouses, pergolas, or raised decks (as detailed in Schedule 2, Part 1, Classes A and E);
- ii) the erection of house extensions including conservatories, garages, car ports or porches (as detailed in Schedule 2, Part 1, Classes A and D);
- iii) alterations including the installation of additional windows or doors, including dormer windows or roof windows (as detailed in Schedule 2, Part 1, Classes A and B); and
- iv) alterations to the roof of the dwelling house (as detailed in Schedule 2, Part 1, Class C).

Reasons - To prevent overlooking of neighbouring properties, in the interest of the protection of residential amenity, in order to control future development, to prevent the site becoming overdeveloped and in accordance with Policy LP16 of the Fenland Local Plan.



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Scale = 1:1,250



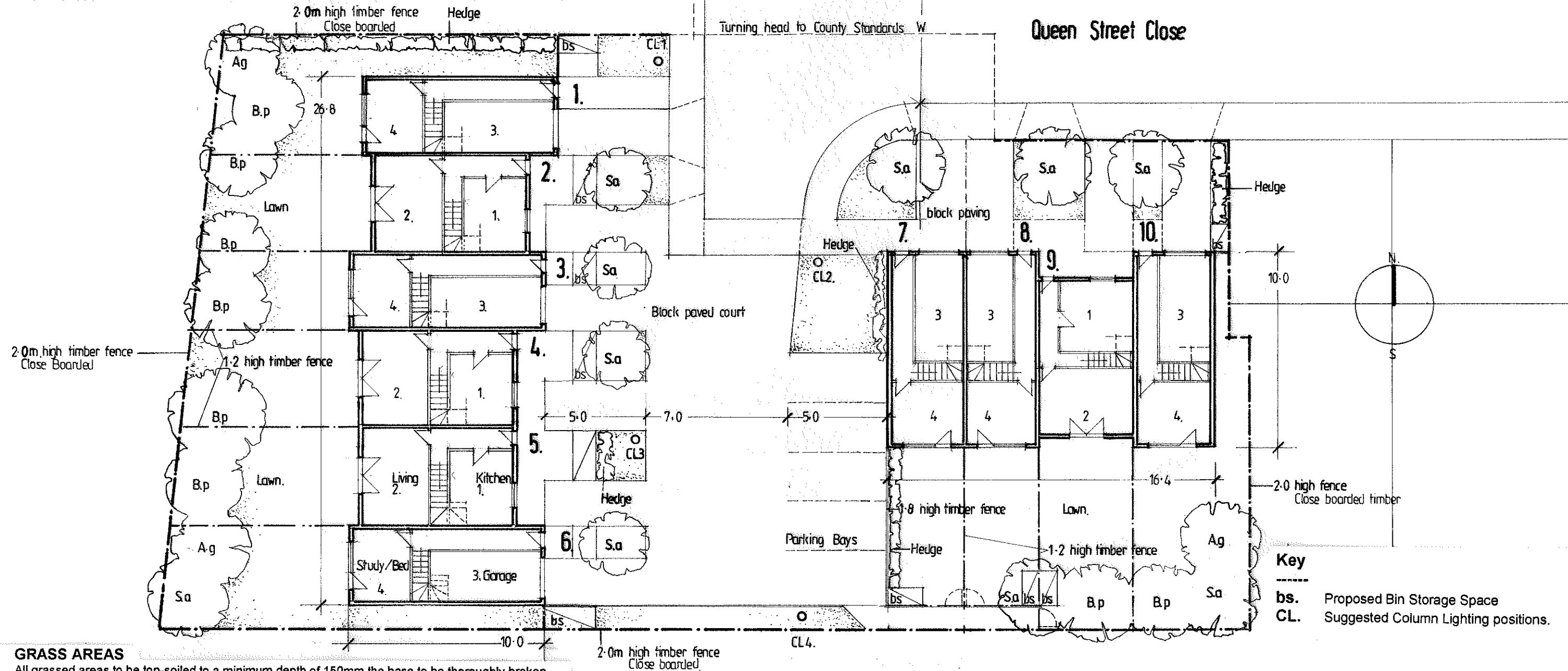
**Planting Specification.**

**TREES.**

All trees are to be planted in separate pits 1m x 1m x 900mm which shall be backfilled with a Mixture of approved topsoil and tree planting compost at a rate of one part compost to two parts topsoil. Each tree shall be planted to the original root collar and secured by two stakes 1.4m in length with approved ties. Planted trees to be watered and a mulch layer (forest bark) spread over the tree pit to 50mm depth.

**HEDGEROWS.**

Hedge trenches shall be dug 450mm x450mm x 400mm deep, the base of which shall be broken up before returning the imported soil backfill mixture to the trench at the rate of one part compost to two parts topsoil. All stock to be planted to root collar and well firmed in place. After planting a 50mm layer of composted fine bark to be spread over the whole hedge area and plants to be thoroughly watered in.



**GRASS AREAS**

All grassed areas to be top-soiled to a minimum depth of 150mm the base to be thoroughly broken up. Once placed the topsoil shall be cultivated and fine graded to even running falls before raking and cross raking. Approved turf or seed shall be laid/sown in accordance with normal practice. Prior to laying a pre-seeding fertiliser shall be applied.

**TREE SCHEDULE**

CODE	SPECIES	SPECIFICATION	NUMBER
A.g	Alunus glutinosa	Heavy Standard 12/14 girth 3.6/4.25 ht	3
B.p	Betula pendula	Multi stem 2.75/3m ht root balled	8
S.a	Sorbus aucuparai	Heavy Standard 12/14 girth 3.6/4.25m ht	10

**HEDGE SCHEDULE**

Fagus sylvatica	1000/1250mm plant rate 5/1m	200
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**Queen Street Close, March.**

Reserved Matters Application.

**Site Layout Plan**

Scale 1:200

Date 10/10/14

Number RM:01/B (Amended 19/12/14)